

SAINT EVES

DESIGN GUIDELINES



DESIGN GUIDELINES OVERVIEW

The Saint Eves Design Guidelines are designed to assist purchasers and their builders in constructing well-designed, high-quality homes that align with the vision of the Saint Eves community. These guidelines aim to foster a premium development with attractive streetscapes, creating a place residents will be proud to call home.

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THE COVENANT APPROVAL PROCESS:

To ensure compliance with the Saint Eves Design Guidelines, please follow the steps below :

1. DESIGN

Collaborate with your builder to design a home that meets or substantially meets the mandatory guidelines outlined in this document. It is vital for your builder to have access to this document to ensure that your home meets these requirements.

2. SUBMISSION

Submit your design for review to the Saint Eves Design Committee.

3. COVENANT BOND PAYMENT

Pay the covenant bond (\$3000), which will be held in trust and refunded upon successful final compliance.

4. ASSESSMENT

The Design Committee will review your plans for compliance and suggest any necessary amendments.

5. COVENANT APPROVAL

Once your submission complies with the guidelines, you will receive covenant approval. Submission review may take 2-4 weeks.

6. BUILDING APPROVAL

Apply for local council or accredited building certifier approval.

7. CONSTRUCTION

Construction must commence within 12 months of settlement and be completed within 24 months of settlement.

8. FINAL INSPECTION

Upon completion of your home and landscaping, request a final inspection via the portal.

9. FINAL COMPLIANCE APPROVAL

If your home substantially meets all design and landscaping requirements, final compliance will be granted.

10. REFUND OF COVENANT BOND

Upon approval, \$3,000 bond will be refunded.

Where a proposed design does not fully comply with the Design Guidelines, the Design Committee may approve the design based on intent or merit, taking into consideration the following:

- The reasonable interests of the owner and any neighbouring owners
- The objectives and purpose of the Design Guidelines

Approval by the Design Committee is in addition to, not in lieu of, state and or / or government requirements. No approval by the Design Committee constitutes any representation that the plans and specifications will be approved by the government or any authority.

The authority of the Design Guidelines and the Design Committee will cease two years after the date of last settlement in the community.





HOMESIZE & SITING

The positioning of your home on the site should be well considered and take into consideration the availability of any views, relationship to neighbouring houses. Where possible, houses should follow environmental design principles to maximise natural lighting and reduce solar heat gains.

A minimum total floor area of 225m² is required. This includes the floor area of garages, entry porches, outdoor living spaces, verandas, and breezeways.

Homes should be appropriately sized for the lot and conform to the setbacks outlined in the relevant planning code.

Specific information for your lot, including your lot area, frontage, and depth is outlined in your Disclosure Plan.

Lots under 450m² will be guided by Brisbane City Council Small Lot Code.

Lots 450m² and over will operate under QDC MP1.2.

BUILT FORM

3.1 FACADE DESIGN

The front facade of your home must address the primary street frontage with a contemporary aesthetic or a modern Hamptons design, incorporating a subtropical design character that reflects the essence of Queensland architecture. Please see examples of this in (Fig. 1).

The following standards ensure a high level of quality across the facades in Saint Eves.

- » Front entry of your home should be clearly visible from the street.
- » All homes are to include windows that face the street from all levels of the home, and are to be articulated as elements of the facade design. Windows that overlook the street or public space should be from habitable rooms of the home to provide passive surveillance and capture views if available.
- » Primary street frontage also must include at least one of the following:
 - Contemporary window hoods
 - Windows recessed into the facade
 - Shadowlines created in the building through minor changes in the facade
- » The facade must have one substantial element projecting towards the street frontage.
- » Bagged and painted brick construction is not a permitted finish. Rendered brick or lightweight cladding are recommended strategies to achieve a contemporary and considered design outcome for your home.
- » A minimum of two premium feature materials must be selected for use in all public-facing facades. The following are acceptable feature materials for facades:
 - Premium feature stone (such as RMS Luna)
 - Timber (stained or painted in line with colour and material palette)
 - Premium feature bricks with off-white or colour matched mortar for a maximum of 20% of the facade (such as the examples shown on Page 14)
 - Premium tiles or stone that are complementary to the exterior colour selections for the home
 - Powder coated metal batten screening where it forms a predominant architectural feature of the home (such as Knotwood)
- » Samples and reference images of selected feature bricks, stones and tiles must be submitted for approval.
- » Unpainted metal elements are not allowed on facades; however, powdercoated cladding such as Colorbond may be used if it suits the design context.
- » During the review process, the Design Committee reserves the right, acting reasonably, to remove any architectural feature if it is found to be inconsistent with the overall aesthetic of the home or the Saint Eves community.

(Fig. 1)
 Examples of Contemporary and
 Subtropical Facade Design

Note: The images below are not meant to depict designs that fully comply with the Design Guidelines. Rather, they are intended to serve as a reference for the general character and style of designs that are considered acceptable. The approval of other design styles is at the discretion of the Design Committee.



Courtesy of Metricon



Courtesy of Bold Living



Courtesy of Metricon



Courtesy of Homes by CMA



Courtesy of Sabdia Constructions



Courtesy of Clarendon



Courtesy of Metricon



Courtesy of Sabdia Constructions



Courtesy of Homes by CMA

3.2 SINGLE LEVEL HOMES

The following conditions apply for single-level homes to be constructed in Saint Eves, which are only permitted to be constructed on lots 450m² and above. This ensures alignment with the recommended 225m² house size and Queensland Design Code (QDC) large lot setbacks. Single-level homes on lots under 450m² should be avoided, as these fall under the Small Lot Code and are subject to additional design constraints.

Single-level homes must achieve a substantial vertical scale. This is achieved by factoring in elevated ceiling heights (min 2700mm), a well-articulated facade, and a thoughtfully designed roofline. Publicly visible elevations must maintain harmony with the character and scale of surrounding properties. See (Fig. 2 & 3) for reference.

To enhance the presence and street appeal, features such as high ceilings, generous glazing, pop-up roof elements, and horizontal articulation are recommended. This works to achieve a perceived sense of scale while also helping to highlight and define the entry point to your home.

The primary facade must include at least three distinct projections of mass, which should be echoed in the roof design to maintain cohesion. Additionally, layered rooflines are required to enhance scale and introduce visual depth

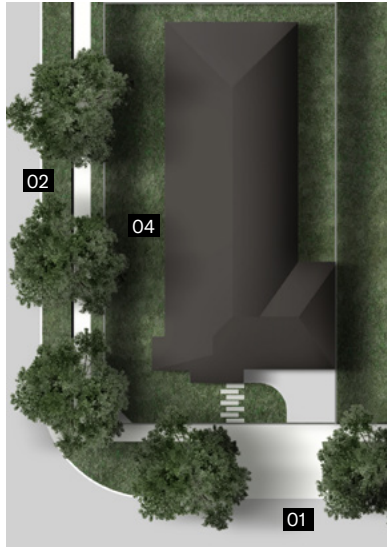
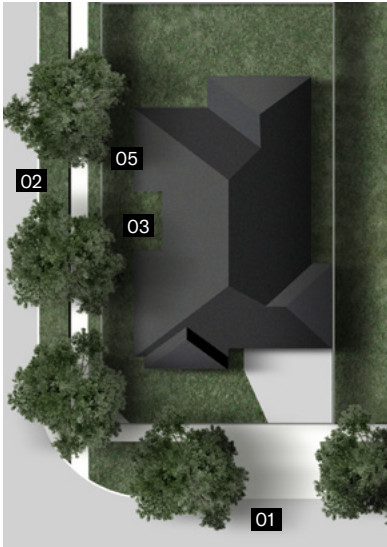


(Fig. 2) Courtesy of Stylemaster



(Fig. 3) Courtesy of Metricon

3.3 DESIGNING ON A CORNER LOT



Legend

- | | |
|---|--|
| 01. Primary street frontage | 04. Unarticulated wall in excess of eight metres not supported |
| 02. Secondary street frontage | 05. At least one habitable room addressing secondary street frontage |
| 03. Articulated roofline and facade address secondary street frontage | |

- » Homes that sit on corner lots must be designed so that each facade individually addresses its respective street frontage with equal care.
- » Walls and rooflines must be articulated to the secondary frontage and this facade must be treated as a secondary elevation.
- » Wall lengths are not to exceed 8m without glazing or other articulation of form.
- » At least one habitable room must address the secondary street frontage.
- » Services areas, (clotheslines, garden sheds, A/C condensers) if located along the secondary frontage, must be screened from view from a public area by approved screening strategies.
- » Material and colour selections for secondary facade must be complementary to the primary facade and external colour palette.

3.4 FACADE REPLICATION

To maintain a visually diverse and architecturally engaging streetscape at Saint Eves, replication of identical or highly similar facades (from the same or different builder) on adjacent lots is not permitted.

This ensures diversity and that each home contributes to the unique character of the community.

Key requirements:

Variation in Design Elements: Homes must incorporate differences in roof forms, entry designs, materials, and colours to distinguish each facade.

Distance Between Similar Designs: A minimum separation of two or more houses is required between homes with similar facades to prevent uniformity within the streetscape.

Design Approval: The Design Committee will assess facade designs to ensure compliance with these requirements, preventing repetitive patterns and encouraging diversity and visual interest throughout the estate, and will act reasonably in its assessment.



3.5 ROOFS & EAVES

Roofs play a significant role in both the functionality and aesthetic of your home at Saint Eves. Beyond weatherproofing, the roof greatly influences the overall architectural style and facade design. Thoughtful material selection and well-designed eaves contribute to energy efficiency, reducing maintenance and cooling costs over time.



(Fig. 4)

Roof Design Requirements:

- » Skillion, pitched and cubic style roofs are encouraged as they align with contemporary home design principles.
- » Hip and gable and/or hip and valley roofs will be considered on their individual merit and must meet the following criteria:
 - Contemporary in nature
 - Provide variety in the height and prominence of rooflines
 - Incorporate vertical and horizontal elements, such as columns, blade walls, or parapets, to break up the roofline and create architectural interest.
 - Be complimented by large areas of glazing on the front facade.
- » Pitch:
 - Roofs with a pitched design, such as hip or gable styles, must have a pitch between 22.5 and 40 degrees.
 - Skillion roofs will be a maximum of 15 degrees and a minimum of 5 degrees
- » Material: Approved roof materials include:
 - Prefinished and coloured metal sheets (e.g. Colorbond) in corrugated or standing seam profiles
 - Flat, low-profile roofing tiles
- » Highly reflective materials, such as galvanized steel, are not permitted. Roofs should complement the overall home colour palette, with lighter tones encouraged to minimise heat absorption.

Eaves and Shading Devices:

- » Eaves are required to provide shade and improve energy efficiency, and should be built to a 450mm minimum depth.
- » Eaves are encouraged on all sides of the home visible from public areas or streets to reduce heat and direct water away from walls and windows.
- » In cases where contemporary designs omit eaves, approval will be granted only if the design positively contributes to the facade. Awnings or window hoods are suggested to be used in lieu of eaves in this circumstance. HEKA hoods (Fig. 4) are recommended as a contemporary window hood solution. Approval of alternative designs is at the discretion of the Design Committee.
- » Eaves or shading devices must extend over garage doors to ensure visual continuity and weather protection.

**3.6
EXTERNAL MATERIALS
& COLOURS**

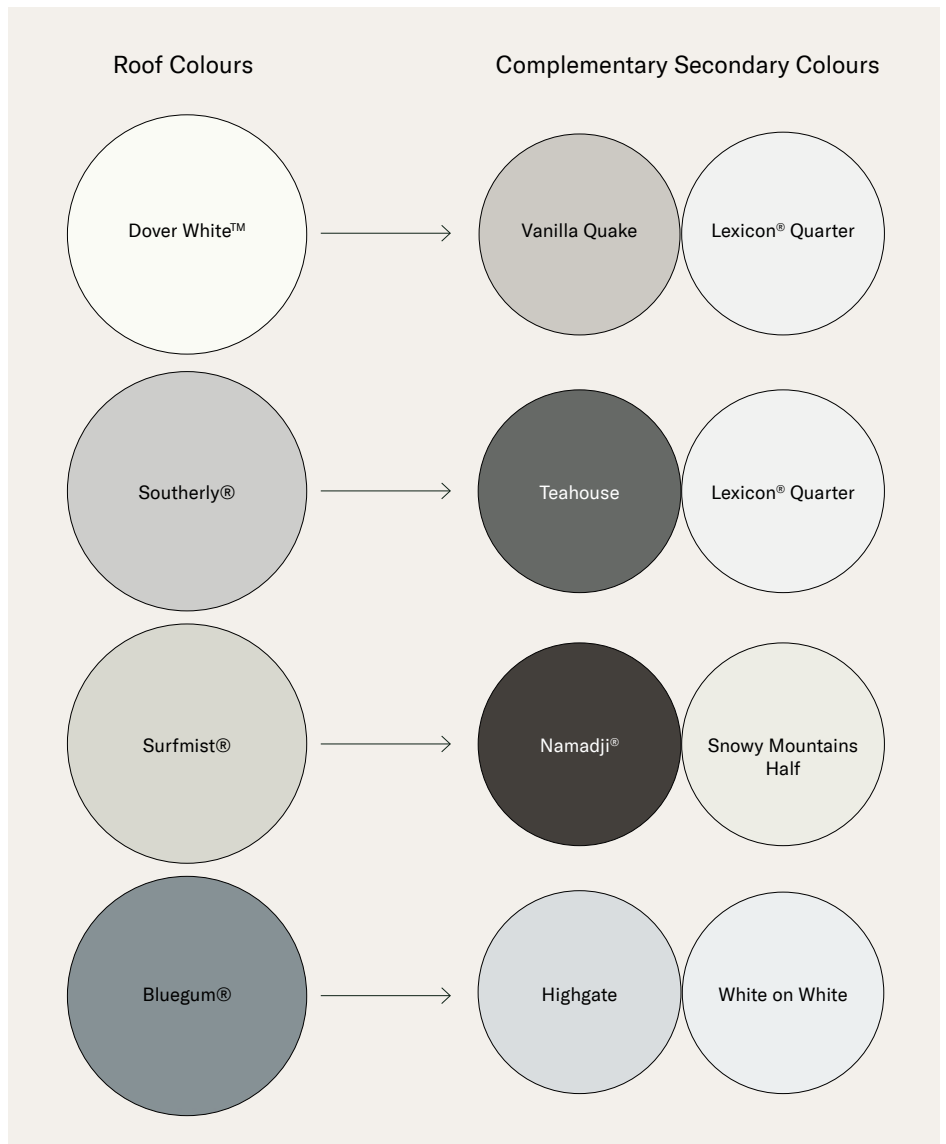
Choosing your homes colour palette is a personal experience and one that provides the opportunity to express your design choices. While this individuality is encouraged, homes within Saint Eves must be complementary to each other, and chosen colour palettes must be reflective of the sophisticated and contemporary design direction of the community.

Exterior colours are to reflect the architectural style of the home, and are to be of muted, natural colour tones. Crisp base colours are encouraged. Feature colours are permitted however these are restricted to architectural features and must be restrained in their selection. No bright primary colours are to be used.

Light colours are encouraged for roof forms and large sun facing walls as they better reflect solar heat.

Complementary muted neutrals are to form the base of your palette. Limited and well considered use of feature or highlight colours is subject to approval from the Design Committee and will be assessed on architectural merit by the Committee (acting reasonably).

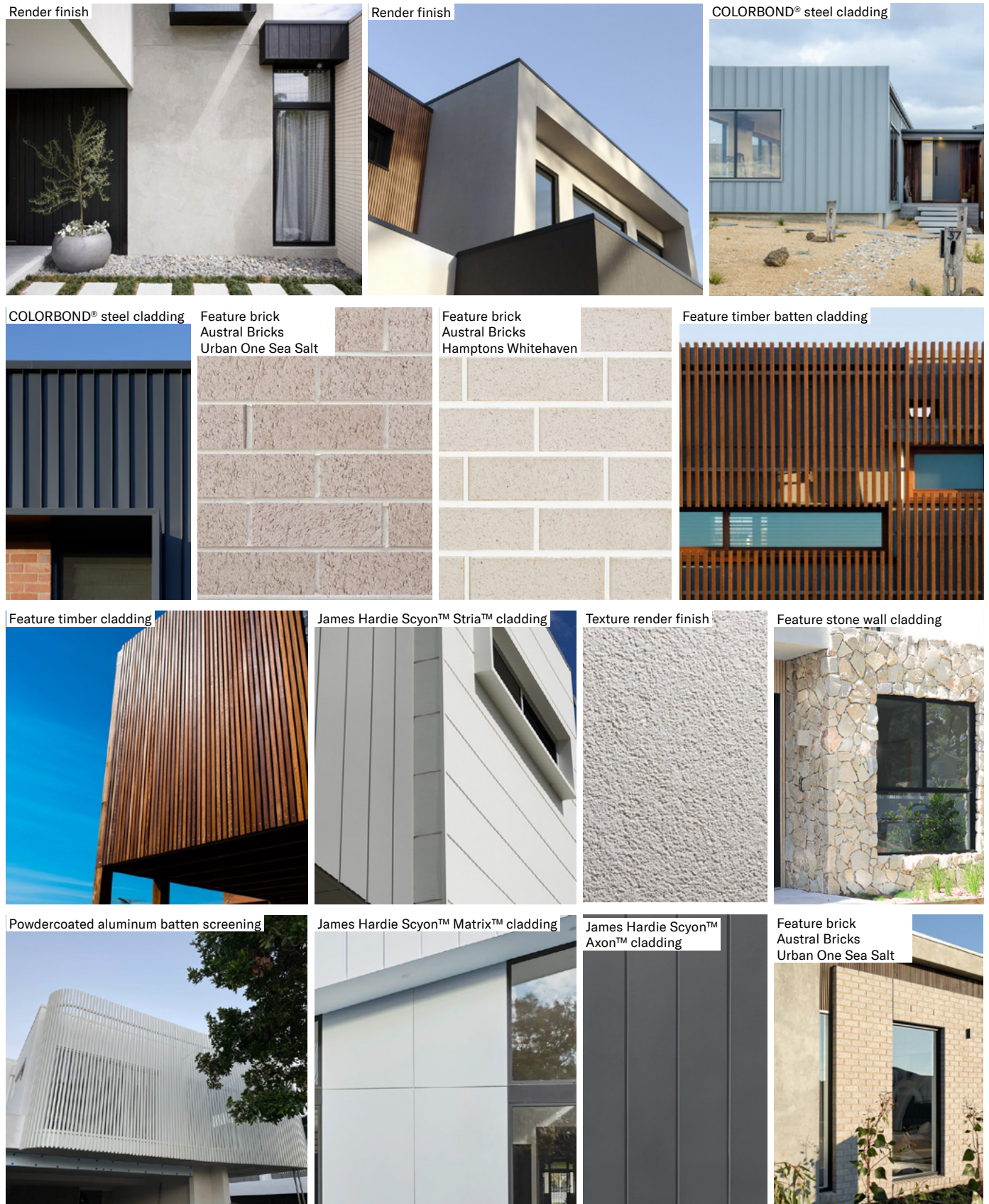
Each covenant application must submit an external colour schedule clearly nominating the location and extent of colours in the proposed design.



The figure illustrates the selection of a complementary muted colour palette, driven by a primary roof colour.

This allows for secondary and accent colours for your homes exterior. These are recommendations only and design approval is not contingent on the use of these specific colours

The material selection of your home should be in unison with the design character and colour palette proposed. Below figure illustrates a range of pre-approved external materials for your home.





3.7 GARAGES

Garages at Saint Eves must be thoughtfully executed to complement the home's architecture and contribute positively to the streetscape. The following standards ensure a high level of functionality and aesthetic appeal:

Integration with the Facade:

Garage designs must be integrated with the home's architectural style, utilising materials and finishes that complement the primary facade.

Positioning:

Garages should not dominate the front facade and must be recessed at least 500mm behind the main building line to maintain a balanced streetscape.

Design Options:

Tilt-up or slimline panel lift doors of a contemporary style are encouraged and must be finished with a complementary colour or material to match the rest of your home. Translucent or frosted glazing can be used for visual interest, but reflective glass and transparent glass are not permitted.

Maximum Width:

For lots with wider frontages (15m and above), the garage must occupy no more than 60% of the lot width to avoid overwhelming the streetscape.

Carports and Shade Sails:

These elements are not permitted on primary frontages to ensure consistency with the premium architectural standard of Saint Eves.

Garage Capacity:

Two car garages are required. Triple garages will only be permitted on a case-by-case basis. If proposed, their bulk must be properly accounted for in the design of your home and their mass must not appear unbalanced.

Vehicle Screening:

Recreational vehicles, boats, and caravans must be adequately screened from view from the primary street frontage, as well as secondary frontage if on a corner lot. Otherwise, they must be housed in a garage.

3.8 INSECT AND SECURITY SCREENS

All insect and security screens visible from a public area must be of a simple and modern profile and integrated into window recesses and articulation of the facade. Frames and screens must be colour matches to your homes door and window frames, or otherwise be dark in colour as to reduce visual impact of these elements.

Barrier or diamond grille shaped screens are not permitted to windows or doors visible from the primary or secondary frontage. Crimsafe mesh is an acceptable solution.

Exterior add-on security screening is not permitted in any locations where it may be visible from a public location.



Privacy and Cross Viewing

To preserve privacy between your home and that of your neighbours, it is important to include privacy screening measures as a feature of your design, particularly on side elevations:

- » A minimum sill height of 1.5m above floor level is required for second storey windows on side elevations to maintain privacy.
- » Fixed or opening obscure glazing must be applied to all bathroom and toilet windows, regardless of elevation.
- » For ground-level windows, fencing to a minimum height of 1.5m above ground level is required to provide adequate screening where side elevations face adjoining lots.
- » Floor-to-ceiling screening must be installed on the side of balconies wherever there is an adjoining lot to maintain privacy. This is not required for ground-level patios.
- » All bedroom glazing visible from a public area or adjoining property must have curtains or blinds installed as an as-needed screening measure.

Privacy screening measures must be clearly identified on the plans and elevations submitted to the Design Committee. Where screens are proposed, sufficient detail must be provided for the evaluation of the selected profile, material, colour, and extent.

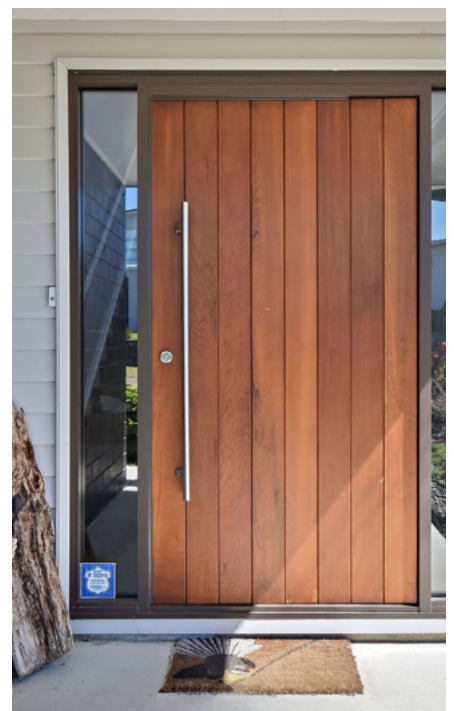
Blinds and Curtains

Where visible from a public area, any blinds and curtains used to shade windows must be of a subtle or muted colour that is complementary to the design of your homes exterior. Curtains are to be made from a plain fabric and must not have any prints or patterns. Temporary blinds are not an acceptable screening solution.

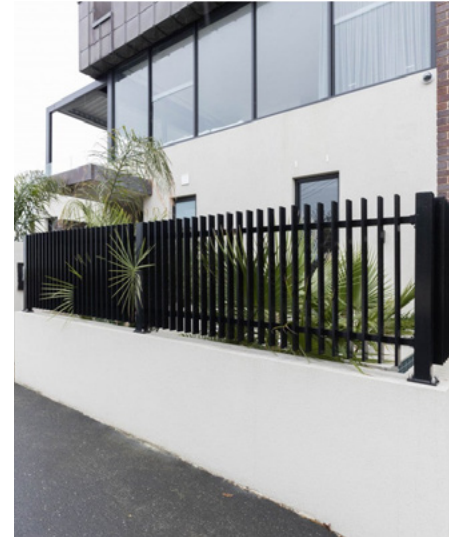
3.9 FRONT DOORS + ENTRY

At Saint Eves, the front entry of your home plays a vital role in establishing the home's architectural identity and enhancing its connection to the streetscape. To ensure a high standard across the community we recommend the following principles are implemented:

- » Visible and Welcoming Entry: Front doors must be clearly visible from the street, framed by architectural elements such as porches or porticos to create a strong sense of arrival. There should be a dedicated pedestrian access path to this from the street.
- » Door Width: Hinge or pivot front doors should have a minimum width of 1200mm.
- » High-Quality Materials: Use premium materials like solid timber, with a stained or painted finish. Doors may feature glass inserts or detailing however these must reflect the overall design direction and high standard of the home.
- » Design Consistency: The design of the door and entryway should complement the home's exterior materiality and colour palette, and not distract from the rest of the home.
- » Passive Surveillance: Doors with side lights or glazed panels are encouraged to enhance visibility



LANDSCAPING



(Fig. 5)

4.1 FENCING

Fencing contributes significantly to the streetscape and overall aesthetic of Saint Eves. All fences visible from public areas must complement the home's architecture and align with the design vision for the community.

Only approved fence types and materials are permitted, with any alternate designs requiring assessment by the Design Committee, acting reasonably. Fences must also take into consideration passive surveillance with the goal of public safety. This can be achieved by ensuring that public areas like streets and walkways can be overlooked from inside your home.

Fences installed by the developer must not be altered without prior approval, and any damage must be repaired to the original standard. Side and rear boundary fencing is mandatory for all lots and must be maintained according to supplier recommendations.

Plans for front fencing, gates and associated landscaping must be submitted to the Design Committee for approval (which approval will not be unreasonably withheld), and must include plans illustrating alignment and fence elevation detail.

Front Fencing:

Front fencing is not mandatory at Saint Eves. To ensure the prominence of landscaping to the street frontage, the following guidelines should be followed if a front fence is proposed.

- » Must be built in either Type A, or Type B fencing (See Fig. 6), and constructed to a maximum of 1.65m high. It must also be positioned at least 500mm from the front property boundary line to allow for landscape planting between the fence and the boundary.
- » Front fencing must taper in height to meet inter-allotment side fencing.
- » Must tie into the side fence return.
- » All front fencing must have a landscape buffer to soften the fence into the streetscape. It is recommended this is a garden bed with shrub planting.
- » A 600mm-high rendered blockwork wall is permitted as a base for the batten fence (optional). The combined height of the wall and fence must not exceed 1.65m. Approved finishes for the wall include popcorn render in white or charcoal. Refer to (Fig.5). Other feature materials subject to approval by the Design Committee (which approval will not be unreasonably withheld).
- » Treated timber, picket, and other similar fencing options are not permitted at Saint Eves.
- » 1.65m-high rendered blockwork pillars may be created at end points of fencing where it meets a corner or gap. This includes either side of entry paths and driveways. These pillars must be of the same finish as any proposed base wall and complement your overall fence design.
- » Driveway gates and pedestrian entry gates are permitted. These must be of a complementary design and finish and at the same height as your proposed front fence. If the proposed design for your gate is not of Type A or Type B to match your home's front fence, the design will be subject to approval.

Side Return Fencing and Gates:

- » Return fencing is to be constructed at a minimum of 1m behind the front building alignment at the primary street frontage.
- » Return fencing and gates are to be constructed to a maximum height of 1.8m.
- » Must be constructed from Type A or Type B fencing. If front fencing is proposed, the colour and materiality of return fencing and any gates must correspond to the design of the front fence.
- » Side return fencing must be designed so that it effectively screens any service areas located on the side of your home. These include rubbish bins, clothes lines, and utilities such as A/C condensers.

Inter-allotment side and rear fencing is to be constructed using Type C good neighbour fencing at a minimum. More premium options will be considered subject to approval from the Design Committee, acting reasonably. Side and rear fencing must be built at a height of 1.8m.

Corner Lots:

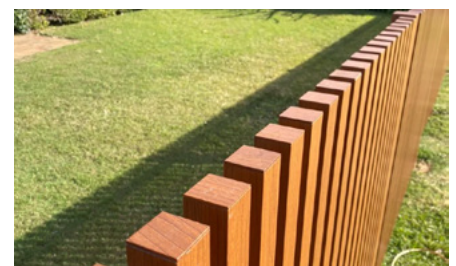
- » Fences along a secondary street frontage must be constructed from Type A or Type B fencing. Fence spans greater than 10m must be articulated with 0.3m landscaping nooks, planted in a style appropriate to your overall landscaping design.
- » Fencing to secondary street frontage must be of the same type as any proposed front fence, including any base wall if proposed.

(Fig. 6)



Type A

Black powder coated aluminium OR dressed and finished painted hardwood timber batten fence.
Minimum 60% Transparent



Type B

Dressed and finished stained timber batten fence
Minimum 60% transparent



Type C

'Good Neighbour' Timber Fencing - Treated and optionally painted

4.2 FENCING LOCATIONS

The diagram below has been produced to assist in identifying the previously discussed fencing locations.



Optional Front Fencing
(Type A or B)



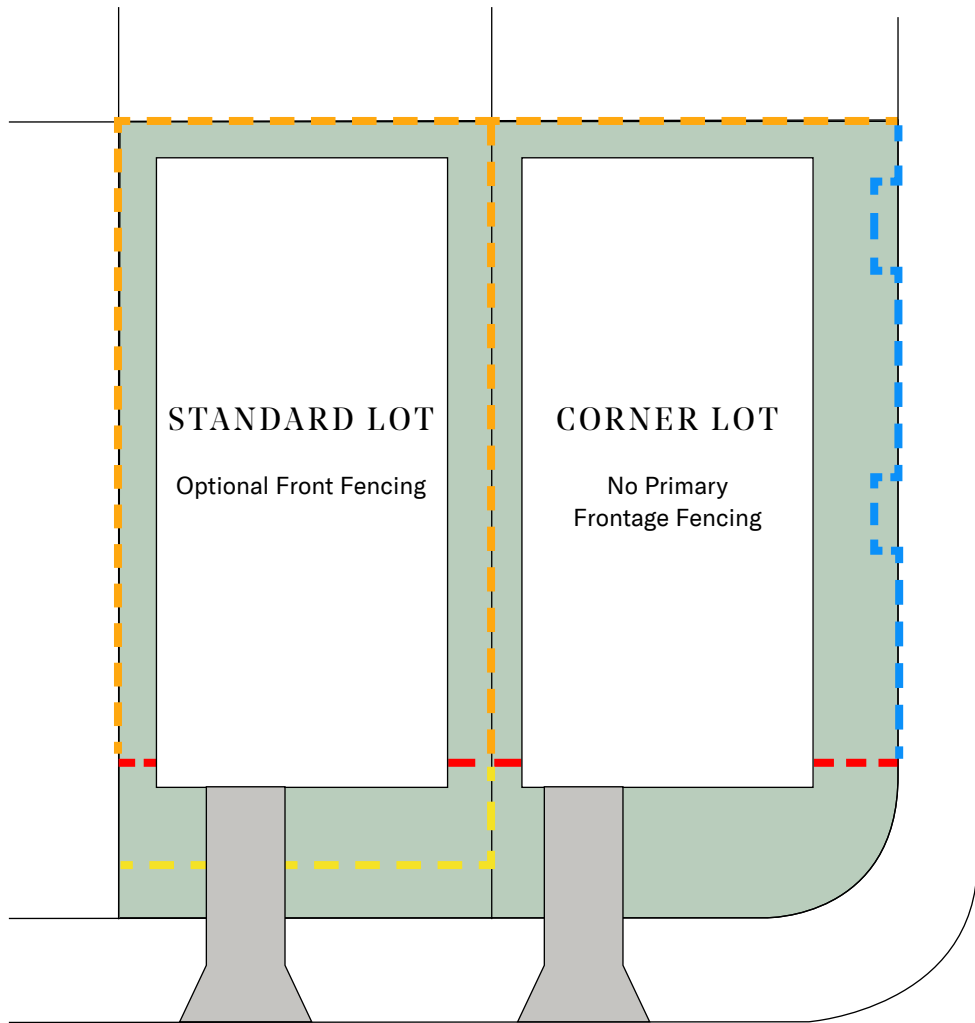
Side & Rear Interlot Fencing
(Type C)



Side Return Fencing
(Type A or B)



Secondary Street Frontage Fencing (Type A or B)



**4.3
LETTERBOXES**

Letterboxes are to be distinct and clearly visible from the street at your homes primary frontage.

They are to be located within the boundaries to your property, and integrated into the fencing and landscaping.

Letterboxes must be contemporary in design and keeping with the character of your home and the neighbouring homes. Acceptable materials include concrete, masonry, timber, and steel (corten or black paint finish). Some examples of contemporary letter box design are included below.

Ornamental and post-mounted letter boxes are not permitted for use.

Some examples of contemporary letter box design are shown below.

Prohibited ornamental designs



4.4
DRIVEWAYS & ENTRY PATHS

Well-considered driveway and entry path layout establishes a strong connection between your home and the streetscape, and as such must be designed thoughtfully.

Material Selection:

Driveways must be constructed from high-quality materials such as exposed aggregate concrete or pavers that are complementary to your home's exterior. Asphalt and plain concrete are not permitted.

Alignment and Width:

Driveways should align with the garage opening and be no wider than the garage door to minimize the visual impact. Only one driveway is permitted per lot.

Setback Requirements:

Driveways must be set back at least 500mm from the side boundary to allow for buffer planting.

Landscaping Integration:

Incorporating garden beds or soft landscaping around the driveway is encouraged to soften the appearance and enhance the streetscape.

It is essential that the design and construction of your driveway be compliant with council approval requirements. If your driveway is constructed out of line with these requirements, council may request the removal and reconstruction of your driveway in a compliant manner.

The main pedestrian entry to your home must be constructed in a different hardscape material to that of your driveway. See the Landscape Materials palette for a list of pre-approved driveway and paving materials. Please see Fig. 7 that demonstrates pre-approved driveway and entry path designs.

At least one off-street parking space must be provided in the driveway to accommodate visitors.

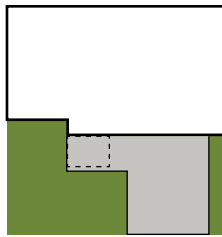
Please note that a driveway permit must be obtained from Brisbane City Council prior to construction.

(Fig. 7)



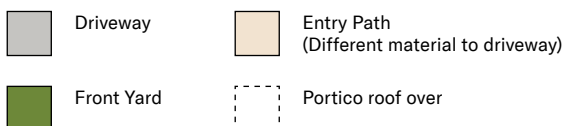
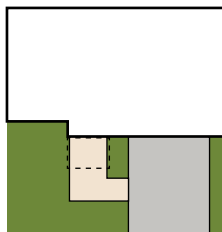
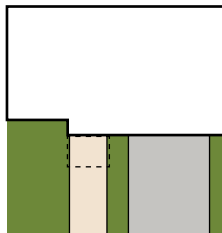
Driveways and Entry Paths that are not supported

(Single combined concrete pour not permitted)



Driveways and Entry Paths that are supported

(Curved paths are supported)





4.5 GENERAL LANDSCAPING GUIDELINES

All landscaping visible from public areas must be approved by the Design Committee and included in your covenant approval submission. Plant selection plays a crucial role in conserving water, ensuring year-round greenery, and maintaining cohesive streetscapes. Using drought-tolerant and native species helps reduce water use while promoting a healthy landscape that aligns with the character of Saint Eves. See following pages for a list of recommended planting species.

Ensure that your tree selection is appropriate and does not have an aggressive root system that will cause damage and disruption to your property or surrounding properties.

Landscapes should incorporate a variety of trees, shrubs, ground covers, and high-quality turf. Alternate designs can be submitted for approval, but they must align with the vision for the community and be assessed on merit by the Design Committee.

A minimum of one advanced growth shade tree (100L pot or 1.8m in height) is to be included as part of the landscape design to your primary street frontage.

Plant hierarchies and layering should be considered to optimise screening, shade, and ventilation for your home. Planted garden beds and turf are to be incorporated to a minimum 40% coverage of the available landscaping area on your homes primary street frontage. Garden beds are to be edged with hardwood timber or steel, and finished with mulch. Where front fences are not proposed, planted garden beds should be used to clearly define the front boundary of your property.

Impermeable hardscape surfaces (such as concrete, pavings, and driveways) are restricted to a maximum 60% coverage of street facing portion of your lot.

All landscaping of your home must be complete within three months of the occupation of your home.

4.6
PLANTING
SELECTION

Shrub Selections



Carissa 'Desert Star' -
Desert Star



Syzgium australe -
Lilly Pilly



Alocasia brisbanensis -
Cunjevoi



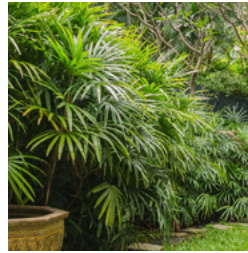
Alipinia nutans -
False Cardamom



Calathea zebrina -
Zebra Plant



Gardenia augusta -
Gardenia



Rhapsis excelsa -
Slender Lady Palm



Crassula ovata -
Curly Jade



Lomandra longifolia -
Mat Rush



Westringia fruticosa -
Coastal Rosemary



Pittosporum tobira -
Miss Muffet

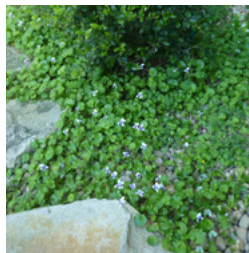


Grevillea species -
Grevillea

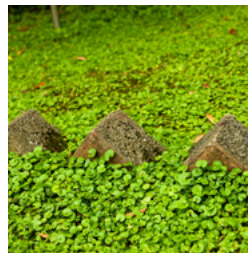
Ground Covers
& Climbers



T. jasminoides -
Star Jasmine



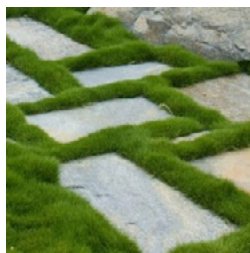
Viola hederacea -
Native Violet



Dichondra repens -
Kidney Weed



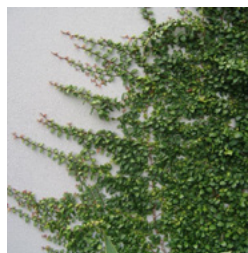
Senecio talinoides -
Icesticks



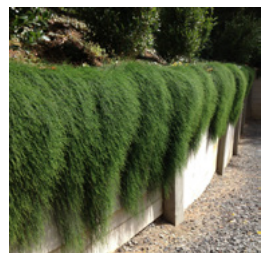
Zoysia tenuifolia -
No Mow Grass



Myoporum parviflorum -
Creeping Boobialla



Ficus pumila -
Creeping Fig



Casuarina glauca -
Cousin It

Tree Selections



Waterhousea floribunda -
Weeping Lilly Pilly



Cyathea cooperi -
Australian Tree Fern



Livistona australias -
Cabbage Palm



Xanthostemon chrysanthus -
Golden Penda



Callistemon salignus -
Willow Bottlebrush



Cupressus sempervirens -
Pencil Pine



Betula pendula -
Silver Birch Tree



Lagerstroemia indica -
Crepe Myrtle



Randia fitzalanii -
Native Gardenia



Tabebuia palmeri -
Pink Trumpet Tree



Tristaniopsis luscious -
Water Gum



Syzygium tierneyanum -
River Cherry



Buckinghamia celsissima -
Ivory Curl Flower



Elaeocarpus eumundii -
Eumundi Quandong

Feature Plants



Xanthorrea -
Grass Tree



Agave attenuata -
Foxtail Agave



Brachychiton rupestris -
Queensland Bottle Tree



Howea forsteriana -
Kentia Palm



Lacy Tree Philodendron
-Philodendron bipinnatifidum



Doryanthes palmeri -
Giant Spear Lily



Banksia Spinulosa -
Bankisa 'Birthday Candles'



Blechnum gibbum -
Silver Lady

4.7
MATERIALS PALETTE

Hard Surface Finishes

Paving Finish 01
Concrete Sandwashed or Broom Finish, neutral colours

Paving Finish 02
Tiles, large module, neutral colours

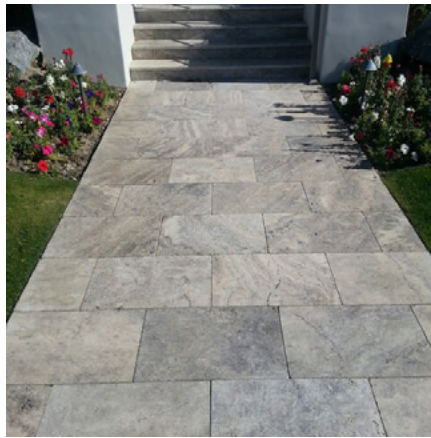
Paving Finish 03
Steppers, round/organic, concrete or stone.

Driveway Finish 01
Exposed aggregate, Eclipse, Ocean Floor or Silver Frost finish or similar.

Driveway Finish 02
Stone paver, neutral colour, crazy/ rectangular form.



Paving Finish 01



Paving Finish 02



Paving Finish 03



Driveway Finish 01



Driveway Finish 02

Soft Surface Finishes

Turf

Wintergreen Couch

Mulch 01

Forest Blend

Mulch 02

Neutral colour pebble mulch

Edge Type 01

Timber edge -25mm (min width) natural treated timber

Edge Type 02

Steel Edge (Corten/ Black powdercoat)

Edge Type 03

Sandstone garden edge



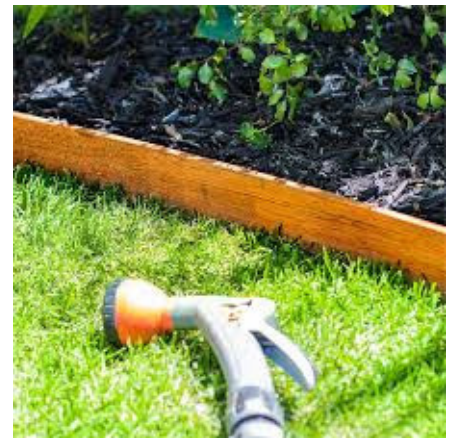
Turf



Mulch 01



Mulch 02



Edge Type 01



Edge Type 02
Steel Edge (Corten pictured)



Edge Type 02
Steel Edge (Black powdercoat pictured)



Edge Type 03
Sandstone garden edge

4.8 RETAINING WALLS & EARTHWORKS

Any new retaining walls proposed as part of your house design must be designed in accordance with the following guidelines.

- » Retaining walls are to be built to a maximum height of 1.2m before a mandatory landscaped terrace of 0.5m between each section of retaining wall.
- » Any new retaining walls are to be fully certified by a registered engineer, and must have included an appropriate drainage solution to deliver sub-surface water below the wall to the local stormwater system. Water cannot be allowed to accumulate at the lower side of the retaining wall.
- » Retaining walls constructed by the developer are not to be removed or altered in any way without written consent, which consent will not be unreasonably withheld.
- » Consent of adjoining property owners is to be obtained when retaining walls and embankments are to be constructed less than 0.6m from the shared boundary.
- » Retaining walls visible from public spaces or footpaths must be constructed from the following material selection:
 - Stone
 - Rendered or charcoal painted block wall
 - Masonry materials
- » Common brick, timber, or concrete sleeper walls are not permitted for use forward of the building line and must be concealed from public view.
- » Full details of the walls, including heights, materials and locations of new retaining walls are to be submitted to the Design Committee for approval with your covenant. Ensure that the locations of proposed retaining walls are clearly articulated on your plans.



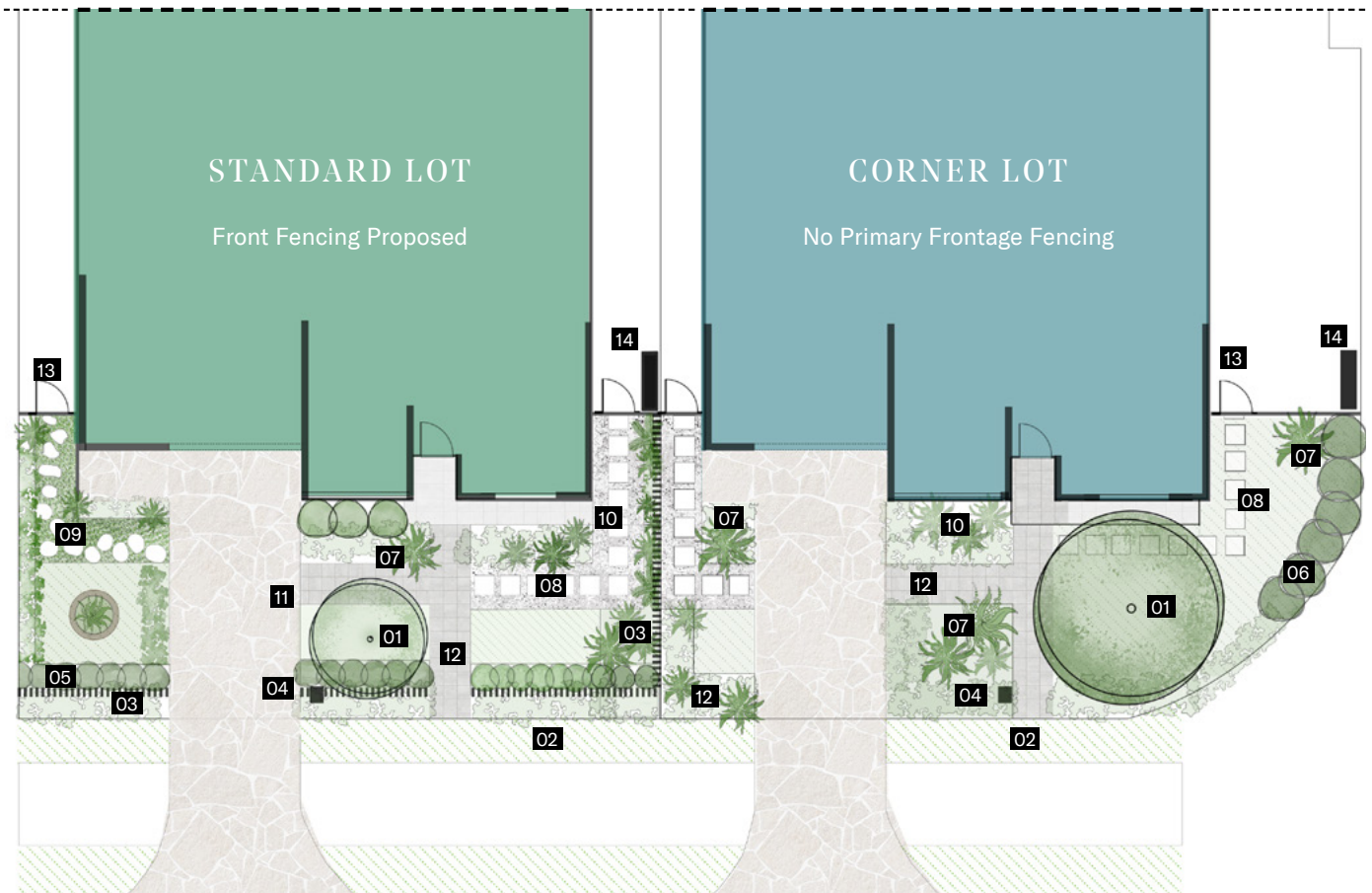
**4.9
INDICATIVE LANDSCAPE
PLANS**

The plans below demonstrate landscaping designs in accordance with Saint Eves Design Guidelines.

They achieve a minimum 60% permeable softscape coverage with maximum 40% hardscape surface coverage.

Legend

- 01. Mandatory minimum 100L feature tree
- 02. Turf to verge
- 03. 500mm planting bed between boundary and front fence
- 04. Letterbox
- 05. Screening shrubs
- 06. Large shrubs define property boundary
- 07. Feature species planting
- 08. Paver walkway set into substrate
- 09. Organic form stone steppers set into Zoysia grass substrate
- 10. Pebble mulch
- 11. Compliant driveway shown in DF02 finish
- 12. Defined entry path in separate material to driveway
- 13. Side fence return gate
- 14. Bin Storage



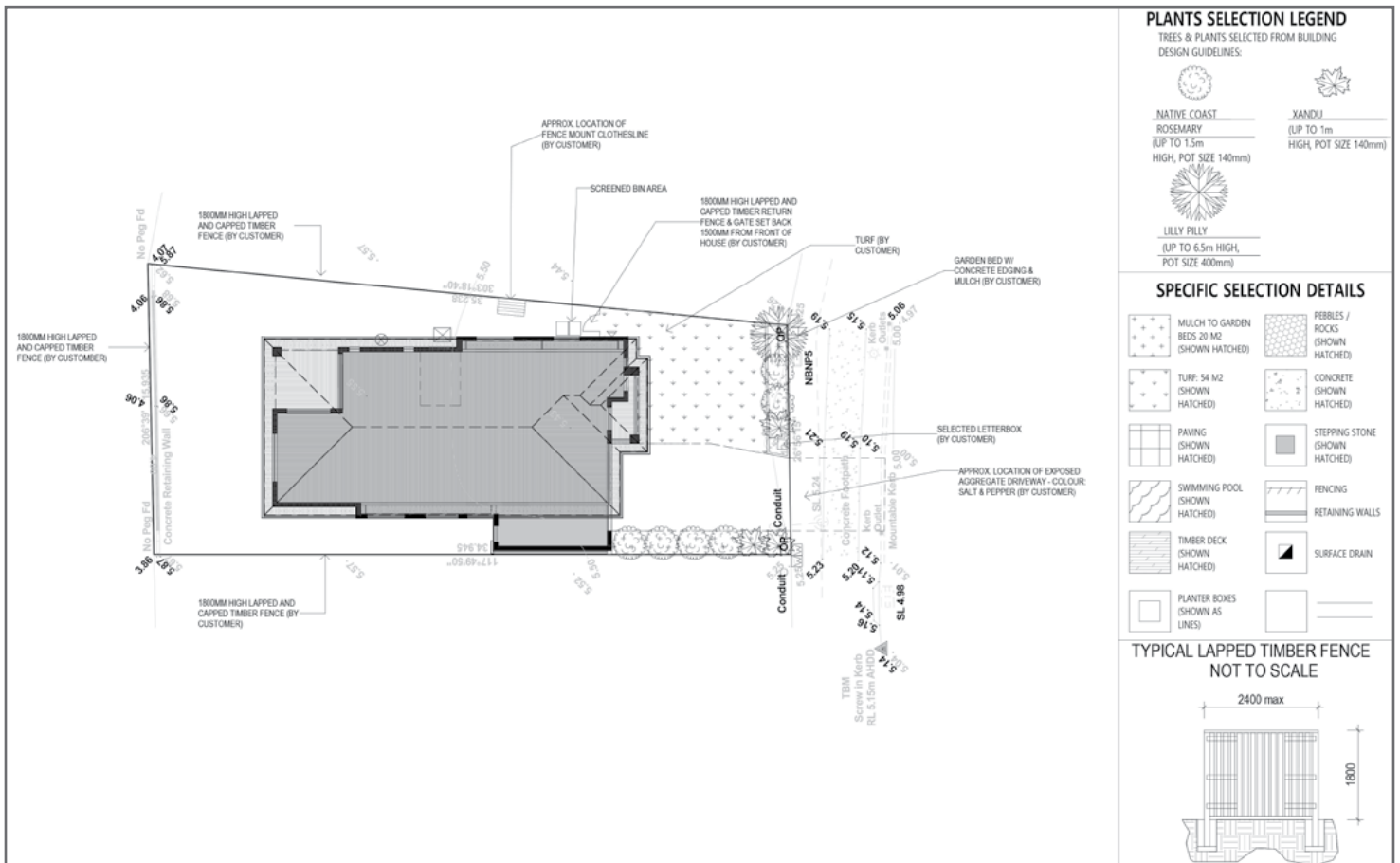
4.10 SUBMITTING YOUR LANDSCAPE PLANS

When submitting your landscape design for approval by the Design Committee, you will need to supply a detailed Landscape Plan. It will need to be at scale (1:200) and clearly outline the proposed materials and planting species to be included in your lot and their locations. You should also demonstrate your driveway and entry path arrangement and their finishes.

All Landscape Plan submissions will require approval in accordance with the Saint Eves Design Guidelines. The Approval of the Design Committee with not be unreasonably withheld.

The figure below demonstrates an indicative plan showing a minimum level of information.

Please note this plan is not relevant for Saint Eves and the information contained should not be used as a design suggestion. It should be used only as a reference for the level of detail required.



SUSTAINABILITY

Saint Eves hopes to be a community for the future, and the implementation of sustainability strategies in homes forms a crucial aspect of this.

The following recommendations are not mandatory as part of your design, however are recommended as opportunities to contribute individually to sustainable outcomes.

7 Star energy ratings are required for all new homes under the National Construction Code. Strategies for achieving this include:

- » Comprehensive cross-ventilation systems through the use of louvres and operable windows, with high operable openings provided for ventilation of heat.
- » Double-glazing where appropriate to improve thermal insulation
- » Deep shading of north and west facing glazing to prevent undesirable solar heat gains.
- » Sealed exhaust fans where necessary

In addition to these strategies for the building fabric, the following are further operational sustainability recommendations for your home.

- » Solar panels where appropriate (north facing) with connected battery storage to reduce reliance on power from the energy grid.
- » Solar panels must not be visible from the front façade. They are permitted only on the side or rear elevation roofs.
- » Energy efficient appliances (target a 4-star minimum rating)
- » Energy efficient air-conditioning systems (aim for a COP greater than 3). Minimise their use through environmental building design strategies previously discussed.
- » Provision of rainwater tanks are recommended to harvest Queensland's abundant supply of water and water bills for your home.

DESIGN APPROVAL CHECKLIST

In your covenant submission, please include the following plans for review by the Design Committee:

Site Plan (minimum scale 1:200) including:

- Lot boundaries and setback dimensions to front, rear & sides
- Site coverage of your dwelling
- Ancillary structure locations (services, water tanks)
- Site permeability
- Location of driveway as well as its width and material/finish selected
- Fence locations, heights, chosen type
- Drainage for the site (including direction of flow upon completion, pits, pipes) to demonstrate appropriate strategy.
- Location of any proposed swimming pools

Earthworks and drainage plan (min scale 1:200)

- Cut and fill zones with indication of finished surface levels with contours at 100mm.
- Location, heights, and materials for any proposed new retaining walls
- Separate required documentation providing detail on these walls, including Engineering Certification
- Demonstrated acknowledgement of existing retaining walls to be protected
- Drainage details including locations of drains, swale, pits, and/or mounds to be constructed as part of your drainage strategy, as well as flow direction at completion.

Floor Plans: (scale 1:100)

- All key room names nominated on plans
- Floor areas in m² including total per level and for each individual space (living, garage, alfresco, kitchen etc.)
- Fully dimensioned plans, including finished floor levels

Elevations of all facades of proposed dwelling: (min. scale 1:100) including:

- Existing ground levels
- Proposed finished ground levels
- Roof pitch and materials including dimensions
- Overall height of the dwelling shown accurately with finished surface level indicated
- Any proposed external screening treatments such as battens, security screens, privacy screens
- Proposed materials and finishes
- Location of any relevant services (a/c unit, hot water, solar panels, rainwater tanks)

Cross section (min scale 1:100) including:

- Existing ground levels
- Proposed finished ground levels
- Cut and fill levels
- Ceiling heights
- Building heights relative to existing ground level
- Pitch of roof.

Landscape Plan (scale 1:200) including:

- Turf areas (extent and species)
- Planted areas, including pot size, plant types, and quantities
- Paved areas, including colours and materials
- Any decks or terraces
- Ponds, pools, or other water features
- Plant species schedule indicating size, quantity, location (include imagery)
- Clothesline location
- Hot water service, rainwater tank, air conditioning unit location and any screening of this
- Bin Storage and screening where required to screen from public area
- Fence location and type
- Letterbox location

Supporting Documents

- Please ensure the following additional documents are included.

Exterior Colour Scheme and Material Finishes

- Clearly demonstrate the proposed exterior colour and materials palette
- Wall finish colours and materials, including any cladding
- Finish colour and materials proposed to roof, fascia, awnings, gutters, as well as their material profile if applicable.
- Any proposed feature materials clearly documented with supporting imagery in context
- Materials and finishes to doors and window frames
- Proposed profile, materials, and finishes for any garage doors.
- Information on any other proposed material visible on the exterior of your home.
- These colours must be clearly noted and located on the elevation drawings.
- Materiality, colour, and imagery of proposed front door.

Fencing Detail:

- Demonstrating chosen Type and Locations
- If proposed, dimensioned front fence plan showing extent and integration of letter box into fence
- Imagery, materiality, and colour of proposed letter box, including an elevation showing the design in context.

Retaining Wall Detail:

- Detailed layout and dimensions for any retaining walls to be constructed
- Heights, locations, and distances to property boundaries and other pertinent structures
- Materials and finishes
- Engineering Certification documentation

DEFINITIONS

Ancillary Structures

Structures that are not part of or attached to the body of the home, i.e. sheds, pergolas, pools, tanks, pool pump, retaining walls, pool shelters, etc.

Articulation

The recess and/or projection of a wall.

Building Approval

Building approval, also called 'certification,' is required for development that involves carrying out building work under the Planning Act 2016 (PA), as well as under specific building legislation.

Building Line

The front wall line of the house.

Building Height

The vertical distance between the natural ground level and the peak of the roof of the dwelling (not including antennae, or other ancillary items).

Carport

A car accommodation space that is not fully enclosed on all sides.

Corner Lots

Lots bordering two streets or a street and laneway.

Design Committee

External review panel responsible for assessing your submissions

Eaves

The portion of a roof that overhangs the external wall of the home.

Eave Line

The edge of the roof or parapet.

Façade

Face of the building. The primary façade is the façade facing the primary frontage. The secondary façade is the façade facing the secondary frontage.

Frontage

The front boundary of a lot that fronts the road. On a corner lot, the primary street frontage is deemed the shorter side and the secondary frontage is the longer side.

Glazing

Any fixed or opening glass panel.

Habitable Room

A room used for living activities, e.g. a family room, living room, meals, or bedrooms.

Home

The residential dwelling to be built on the lot.

Lot

The land that the purchaser owns in Saint Eves.

Primary Façade

The primary façade is the elevation facing the primary street.

Primary Frontage

The street fronting your lot where the lot has only one street frontage; or for lots with two or more street frontages, the street which your home's front door faces.

Private Open Space

The external open areas around the dwelling that are intended exclusively for the recreational purpose of the residents.

Retaining Wall

Any retaining structure higher than 200mm.

Secondary Frontage

Applies to lots with more than one street frontage and is the street(s) which is not the primary street.

Setback

The minimum distance between the wall and the property boundary line.

Street Frontage

The front boundary of a lot that fronts the road—on a corner lot, the primary street frontage is deemed the shorter side.

Site Coverage

The area of your lot that the footprint of your home covers.

ANNEXURE 2 - FINAL DESIGN APPLICATION FORM & CHECKLIST

Please provide the following details for the final submission of plans to the Design Committee.

Submit to: applications@sainteves.com.au

Subject line: Saint Eves Lot XX Review

Lot Number _____ Stage Release _____

Date Submit _____

OWNERS DETAILS

Name _____

Address _____

_____ Postcode _____

Phone 1 _____ Phone 2 _____

Email 1 _____ Email 2 _____

BUILDER/ARCHITECT DETAILS (PLAN PROVIDED BY)

Name _____

Address _____

_____ Postcode _____

Phone _____

Email _____

LANDSCAPE ARCHITECT / LANDSCAPER DETAILS (PLAN PROVIDED BY)

Name _____

Address _____

_____ Postcode _____

Phone _____

Email _____

We acknowledge we have read and understand and agree to comply with Saint Eves Design Guidelines.

Owner Name _____

Owner Signature _____ Date _____

